

# Memo



**Date:** January 15/10

**To:** City Manager

**From:** Community Sustainability Division

**File No:** Z09-0059                      **Applicant:** Bruce Hendren

**At:** 255 Benchview Road              **Owner:** Daniel Derksen

**Purpose:** TO REZONE FROM THE RU1 - LARGE LOT HOUSING ZONE TO THE RU1(s) LARGE LOT HOUSING WITH SECONDARY SUITE ZONE TO ALLOW A BASEMENT SUITE IN AN EXISTING SINGLE FAMILY DWELLING

**Existing Zone:** RU1 - Large Lot Housing

**Proposed Zone:** RU1(s) - Large Lot Housing with Secondary Suite

Report Prepared by: Luke Turri

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## 1.0 RECOMMENDATION:

THAT Rezoning Application No. Z09-0059 to amend City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 33, Section 23, Township 26, ODYD, Plan 19819, located at 255 Benchview Road, Kelowna, B.C. from the from the RU1 - Large Lot Housing zone to the RU1(s) - Large Lot Housing with Secondary Suite zone be considered by Council;

AND THAT the zone amending bylaw be forwarded to a Public Hearing for further consideration.

AND THAT final adoption of the zone amending bylaw be considered subsequent to the requirements of the Interior Health Authority being completed to their satisfaction.

## 2.0 SUMMARY:

This application seeks to rezone from the RU1 - Large Lot Housing zone to the RU1(s) - Large Lot Housing with Secondary Suite zone to construct a secondary suite within an existing dwelling.

## 3.0 BACKGROUND:

The property owners are currently renovating the basement in the existing single family dwelling. Should Council approve the rezoning application, the current Building Permit application would be amended to include a secondary suite.

As proposed, the two-bedroom suite would be accessed from the rear yard through an existing exterior door. Parking would be provided both in an existing garage (1 stall) and on the driveway (2 stalls). The lot is of ample size, and would easily accommodate private open space for each dwelling.

The application meets the requirements of Zoning Bylaw No. 8000 as follows:

CRITERIA	PROPOSAL	RU1(s) ZONE REQUIREMENTS (Suite within Principal Dwelling)
<b>Subdivision Regulations</b>		
Lot Area	845m <sup>2</sup>	550 m <sup>2</sup>
Lot Width	21.34m	16.5 m
Lot Depth	39.61m	30.0 m
<b>Development Regulations</b>		
Site Coverage (buildings)	22%	40%
Site Coverage (buildings/parking)	27%	50%
Height (existing house)	1½ storeys / 5.0m	2 ½ storeys / 9.5 m
Floor Area of principal dwelling	173m <sup>2</sup>	-
Floor Area of Secondary Suite / Size ratios	72m <sup>2</sup> / 40%	Cannot exceed the lesser of 90 m <sup>2</sup> or 40% of principal dwelling
Front Yard	8.0m	4.5 m / 6.0 m to a garage
Side Yard (west)	1.3m*	2.0 m (1 - 1 ½ storey)
Side Yard (N,S,E,W)	2.5m	2.0 m (1 - 1 ½ storey)
Rear Yard	16.5m	7.5 m
<b>Other Requirements</b>		
Parking Stalls (#)	3 spaces	3 spaces
Private Open Space	Meets requirements	30m <sup>2</sup> required per dwelling
*Existing non-conforming side yard setback.		

#### 4.2 Site Context

The subject property is located in the Upper Rutland Area, east of Dougall Road, and backing onto Belgo Elementary School, in a predominantly single family neighbourhood.

Specifically, the adjacent zones and uses are:

- North** RU1 - Large Lot Housing
- East** RU1 - Large Lot Housing
- South** RU1 - Large Lot Housing
- West** P2 - Educational & Minor Institutional (Belgo Elementary)

### 4.3 Site Location Map

Subject property: 255 Benchview Road



### 5.0 DEVELOPMENT POTENTIAL/CURRENT POLICY:

#### 5.1 Existing Zone (RU1 - Large Lot Housing)

The purpose of the RU1 zone is to provide a zone for single detached housing, and compatible secondary uses, on larger, serviced urban lots.

#### 5.2 Official Community Plan

The proposal is consistent with the future land use designation of Single/Two Unit Residential in the Official Community Plan. The Single/Two Unit Residential designation covers single detached homes for occupancy by one family, single detached homes with a secondary suite, semi-detached and detached buildings used for two dwelling units, and complementary uses.

*Section 8.35 - Land Utilization within Single Detached Areas:* Work towards achieving more efficient use of land within developed single-detached neighbourhoods by encouraging rezoning, subdivision and building permit applications that would allow for smaller lot sizes, secondary suites, minor boarding facilities, minor group homes, duplexes etc. that are sensitively integrated into a neighbourhood;

*Section 8.47 Secondary Suites:* Encourage, under the conditions stipulated in the Zoning Bylaw, the creation of secondary suites;

### 6.0 TECHNICAL COMMENTS:

#### 6.1 Building & Permitting

Existing active BP #38663 to be upgraded for proposed suite or separate BP required for proposed suite to BCBC 2006.

#### 6.2 Development Engineering Branch

No servicing requirements.

### 6.3 Fire Department

Requirements of Section 9.36, Secondary Suites, of the BCBC 2006 are to be met. Fire separations as per BCBC 2006.

### 6.4 Public Health Inspector (Interior Health Authority)

Existing septic system to be reviewed by Registered Onsite Wastewater Practitioner (ROWP) to determine whether the existing sewage disposal system is adequately sized to accommodate the new, greater, flows generated by the basement suite. A report from a ROWP containing the existing sewage disposal system status would be required prior to Interior Health approval.

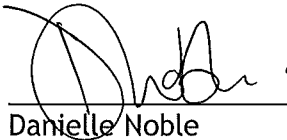
### 6.5 Rutland Waterworks District (RWD)

The existing water service is adequate in size. Any upgrading required by another authority would be at the owner's expense.

## 7.0 LAND USE MANAGEMENT DEPARTMENT:

The Land Use Management Department recommends support for this application. Policies within the Official Community Plan affirm the sensitive integration of infill in established neighbourhoods where services are already in place and densification can easily be accommodated. The proposal allows for more efficient use of the subject property and helps to diversify the housing supply in the area. The property would accommodate three off-street parking stalls, meeting the Zoning Bylaw requirements for a single family dwelling with a secondary suite.

Submitted by:



Danielle Noble  
Manager, Urban Land Use

Approved for inclusion:

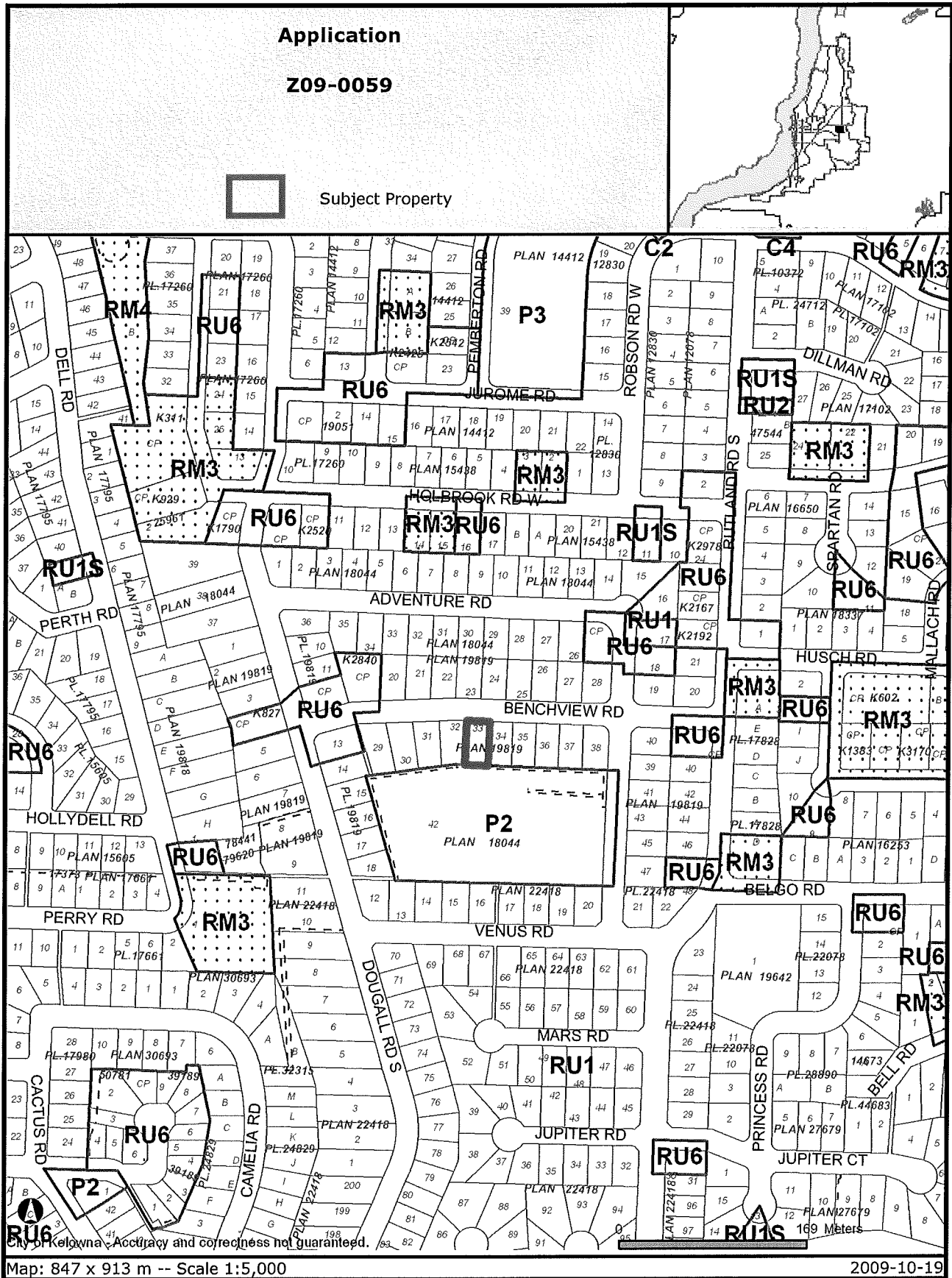


Shelley Gambacort  
Director, Land Use Management

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#### Attachments:

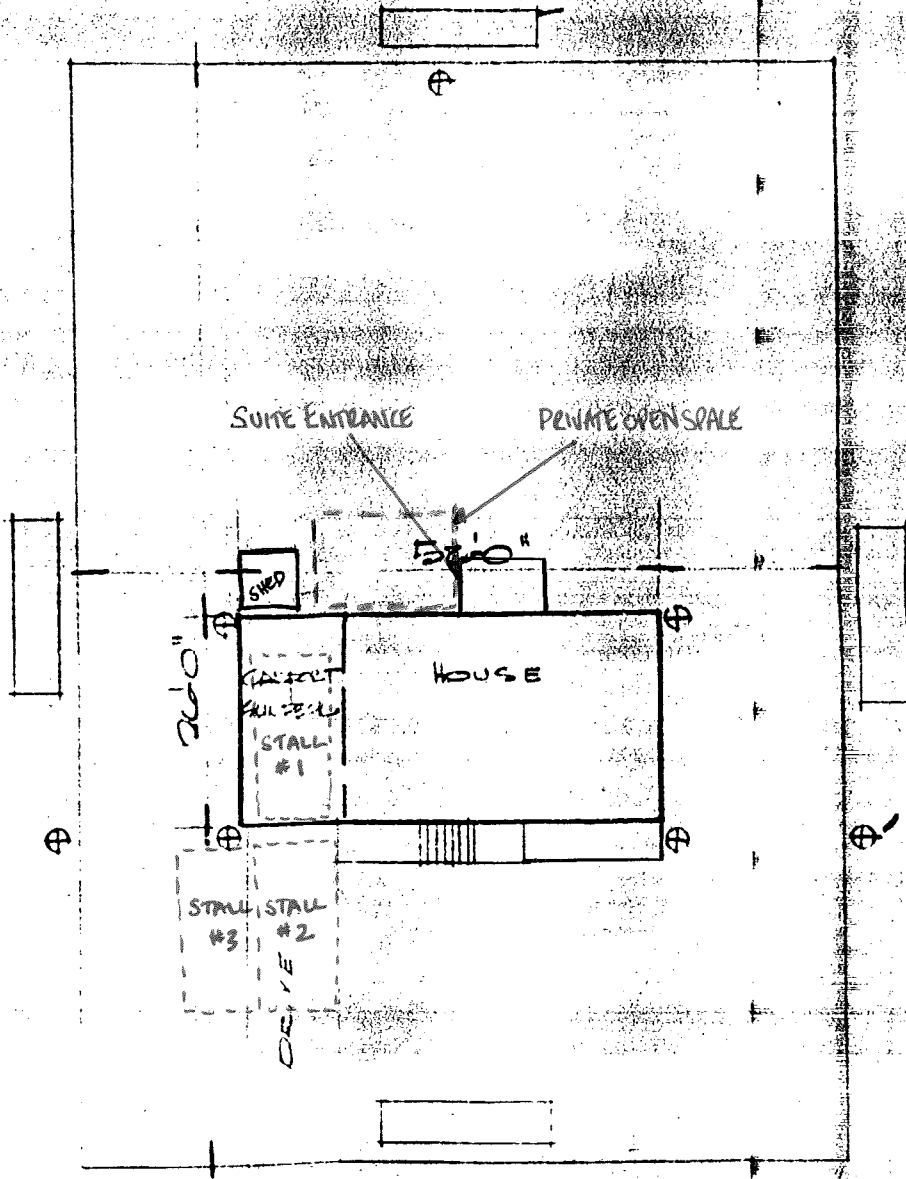
Subject Property Map  
Site Plan  
Floor Plans (2 pages)



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.

SHOW LOT DIMENSIONS

POINT



SHOW FINAL GRADE AT THESE POINTS FOR 100.0'

STREET

ASSUME 100' ELEV. AT CROWN OF STREET

PLOT PLAN  
NOT TO SCALE

**SITE PLAN**  
**255 BENCHVIEW RD**  
**209-0059**

Address	255 BENCHVIEW	
Lot	33	Sec
Blk		Twp
Plan	19319	Pages

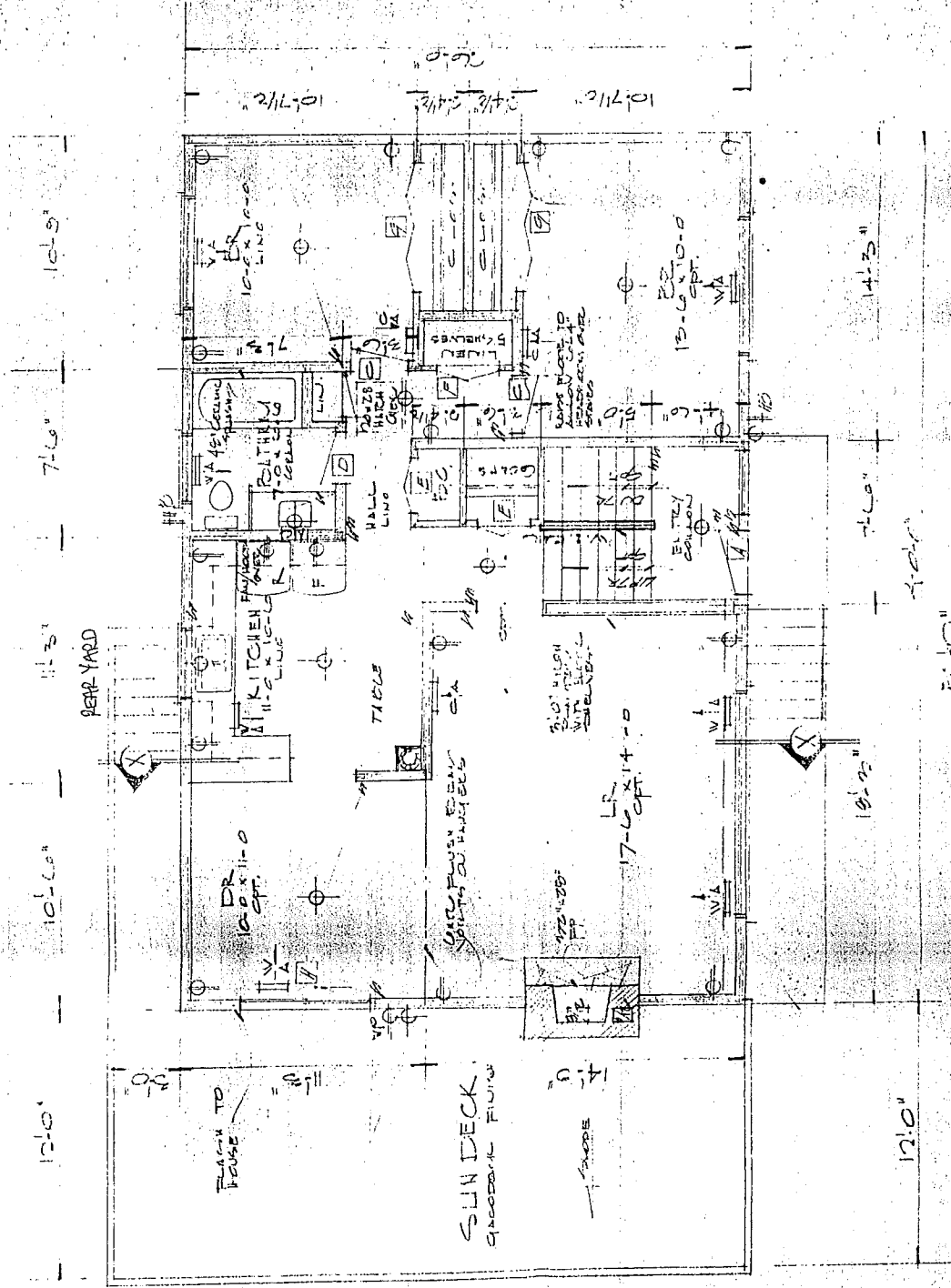
210" x 40"  
 3/8" PLYWOOD  
 2x6 RAFTERS @ 16" O.C.

- 3" x 4" Lumber
- 2x4 studs @ 16" O.C.
- 3/4" Plywood
- EXTERIOR PAPER
- LEADERS/STUCCO
- CLIP FLASHING
- 5" CHIMNEY SIDING
- EIFS
- DAMPSCREED

Top Floor: 994 ft<sup>2</sup>  
 Common Area: 1724 ft<sup>2</sup> SE  
 Storage: 198 ft<sup>2</sup>  
 Basement Suite: 776 ft<sup>2</sup>

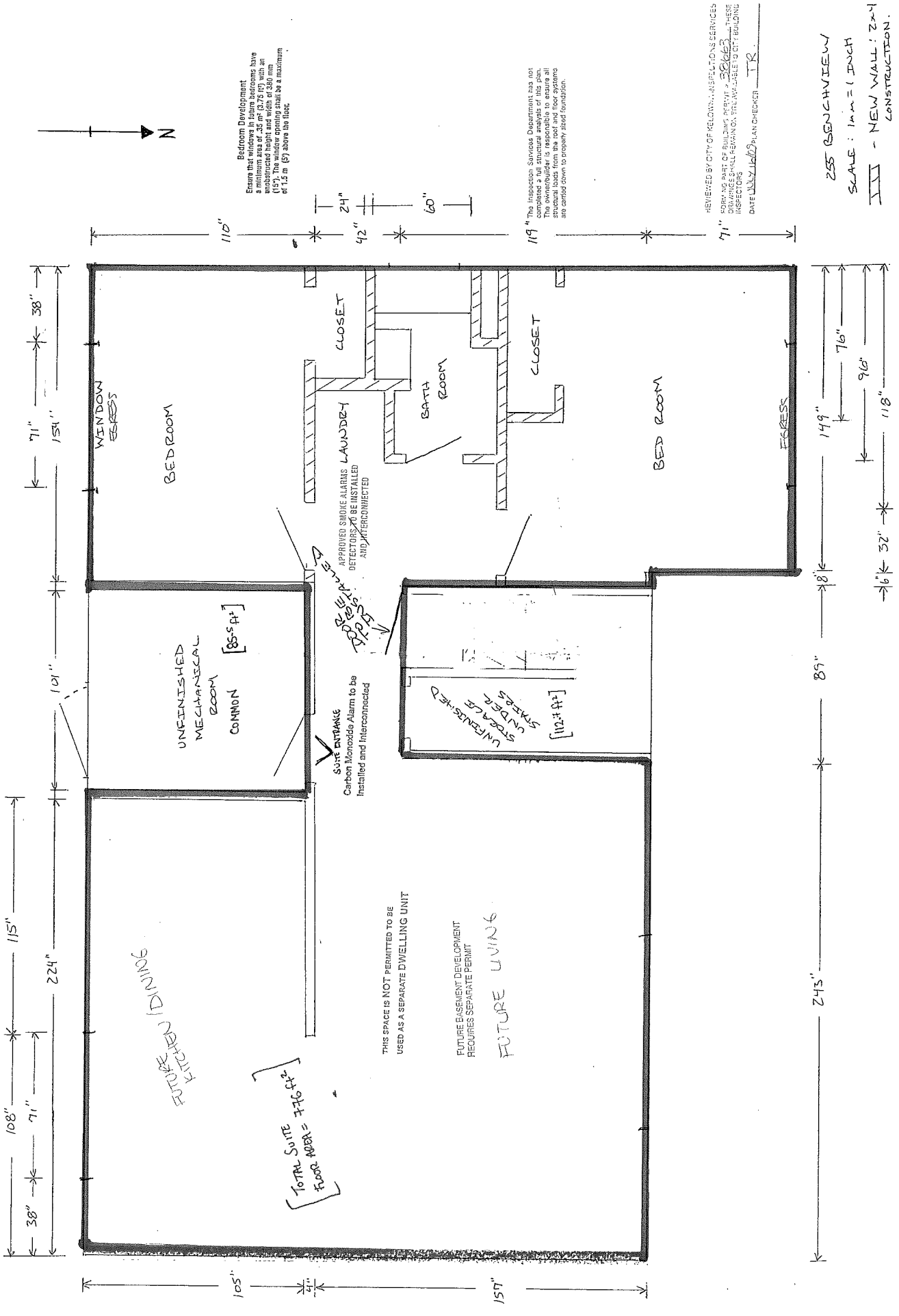
Total Sqft = 1948 ft<sup>2</sup>  
 Suite % of Dwelling = 40% (3987)

DOOR	TYPE	THICK	FRAMING
A	DOOR	1 3/4"	2x4
B	DOOR	1 3/4"	2x4
C	DOOR	1 3/4"	2x4
D	DOOR	1 3/4"	2x4



Practical

FLOOR PLAN  
 AREA = 1040  
 SCALE: 1/4" = 1'-0"  
 10 90



**Bedroom Development**  
 Ensure that windows in urban bedrooms have a minimum area of .35 sq-ft (3.275 sq-ft) with an unobstructed height and width of 380 mm (15 inches). The maximum sill height above the finished floor level shall be a maximum of 1.5 m (5 ft) above the floor.

The Inspection Services Department has not reviewed the structural drawings. The owner/building is responsible to ensure all structural loads from the roof and floor systems are carried down to properly sized foundation.

REVIEWED BY CITY OF MELBOURNE INSPECTION SERVICES  
 WORKING PART OF BUILDING PERMIT: 2024-0001  
 THESE DIMENSIONS SHALL REMAIN UNLESS CHANGED BY CITY BUILDING INSPECTORS  
 DATE: 04/24/2024 PLAN CHECKER: T.R.

**ZSS BENJAMIN**  
 SCALE: 1/8" = 1' INCH  
 - NEW WALL: 2x4 CONSTRUCTION.

UNFINISHED MECHANICAL ROOM COMMON [85 sq-ft]

SUITE ENTRANCE Carbon Monoxide Alarm to be installed and interconnected

APPROVED SMOKE ALARMS DETECTORS TO BE INSTALLED AND INTERCONNECTED

THIS SPACE IS NOT PERMITTED TO BE USED AS A SEPARATE DWELLING UNIT  
 FUTURE BASEMENT DEVELOPMENT REQUIRES SEPARATE PERMIT  
 FUTURE LIVING

TOTAL SUITE FLOOR AREA = 747.36 sq-ft

